

KIDDIE ACADEMY

2310 CANTERWOOD DRIVE

WILMINGTON, NORTH CAROLINA 28401

TRC SUBMITTAL

JULY 2018

NOTICE REQUIRED

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES.

CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.

CONTRACTORS SHALL CONTACT OVERHEAD ELECTRIC PROVIDER TO COMPLY WITH FEDERAL OSHA 1910.333 MINIMUM APPROACH DISTANCE TO ENERGIZED POWERLINES AND OSH 29 CFR 1926.1407-1411 MUST BE FOLLOWED.

CONTRACTOR SHALL CONTACT AT&T PRIOR TO ANY DEMOLITION TO ALLOW FOR AT&T TO DISCONNECT COMMUNICATIONS CABLES COMING INTO THE SITE.

CONTACT THESE UTILITIES

CITY OF WILMINGTON PLANNING & DEVELOPMENT
 ATTN: BRIAN CHAMBERS, PLANNER
 PH: 910-342-2782

ATTN: ZONING INSPECTIONS
 PH: 910-254-0900

PIEDMONT NATURAL GAS
 ATTN: CATHY PLEASANT
 PH: 910-251-2827

EMERGENCY DIAL 911
POLICE - FIRE - RESCUE
 ATTN: CITY OF WILMINGTON FIRE & LIFE SAFETY
 PH: 910-343-0696

CAPE FEAR PUBLIC UTILITY AUTHORITY (WATER & SEWER)
 ENGINEERING/INSPECTIONS
 PH: 910-332-6560

OPERATIONS/MAINTENANCE
 PH: 910-322-6550

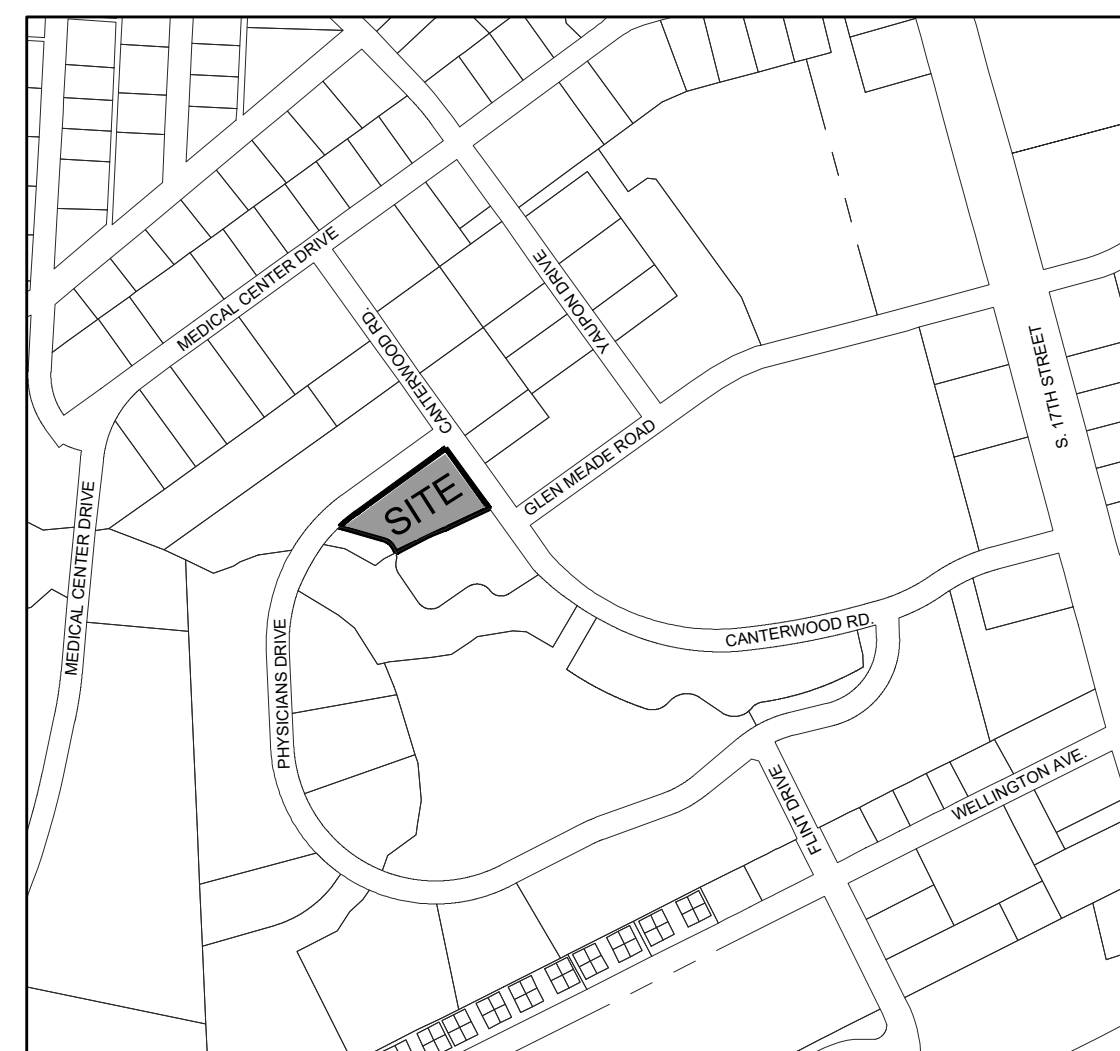
DUKE ENERGY
 DISTRIBUTION CONSTRUCTION SERVICE
 DEP CSC PH: 1-800-452-2777

TRANSMISSION AGENT
 BILL WILDER
 PH: 910-772-4903

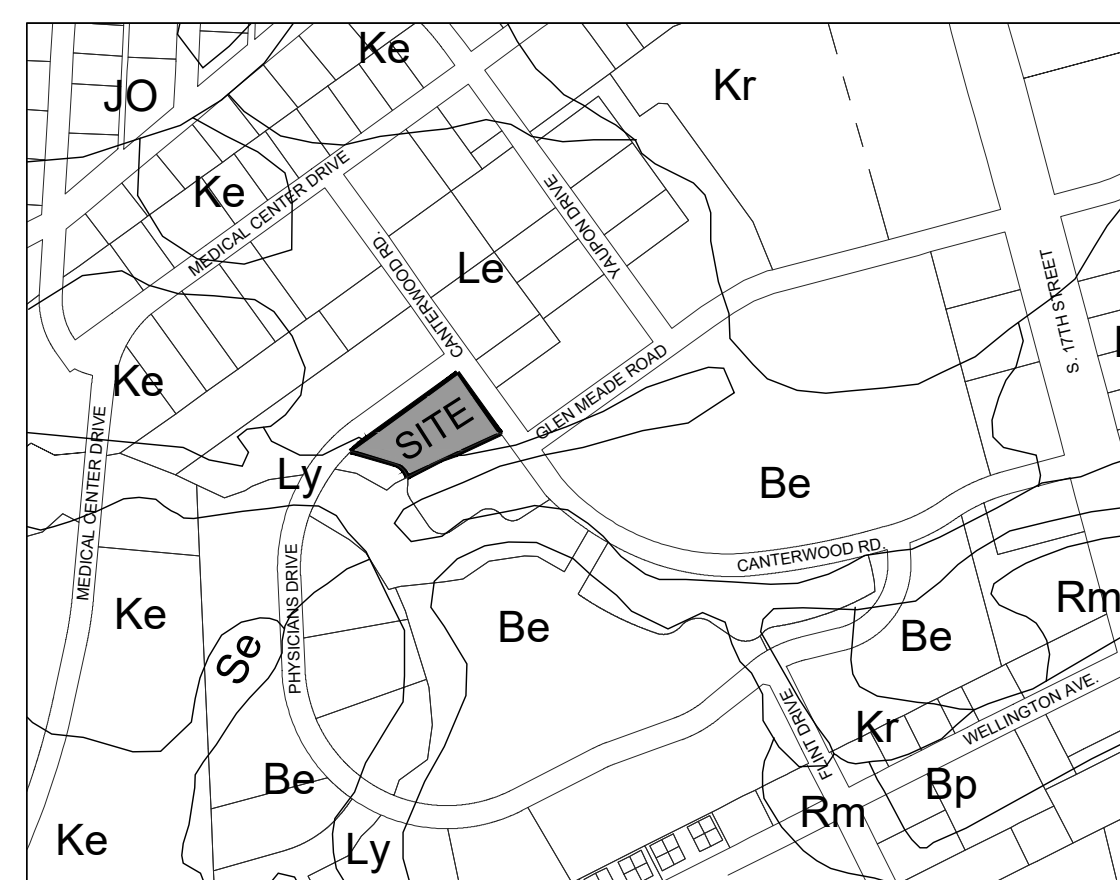
AT&T/BELL SOUTH
 ATTN: STEVE DAYVAULT (BUILDING ENGINEERING)
 PH: 910-341-0741

ATTN: JAMES BATSON, ENGINEERING
 PH: 910-341-1621

SPECTRUM
 GENERAL PH: 800-892-4357



LOCATION MAP
 SCALE: 1"=500'
 NORTH



SOILS MAP
 SCALE: 1"=500'
 NORTH

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

KIDDIE ACADEMY

TRC SUBMITTAL

PROJECT # 18291.PE JULY 11, 2018

SHEET INDEX

SHEET NUMBER	SHEET TITLE
C-0.0	COVER SHEET
C-1.0	SITE INVENTORY PLAN
C-2.0	SITE PLAN AND TREE REMOVAL PLAN
L-1.0	LANDSCAPE PLAN

PROJECT CONSULTANTS

APPLICANT	ENGINEER/LAND PLANNER/LANDSCAPE ARCHITECT	SURVEYOR
KIDDIE ACADEMY 3415 BOX HILL CORPORATE CENTER DR. ABINGDON, MD 21009	PARAMOUNTE ENGINEERING, INC. 122 CINEMA DRIVE WILMINGTON, NC 28403 CONTACT: JEREMY BLAIR, PE (910) 791-6707	PARAMOUNTE ENGINEERING, INC. 122 CINEMA DRIVE WILMINGTON, NC 28403 CHRIS GAGNE, PLS (910) 791-6707

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

NCDENR PWSS WATER PERMIT #: _____
 WATER CAPACITY: _____ GPD
 DWQ SEWER PERMIT #: _____
 SEWER CAPACITY: _____ GPD
 SEWER SHED # AND PLANT: _____
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

Approved Construction Plan

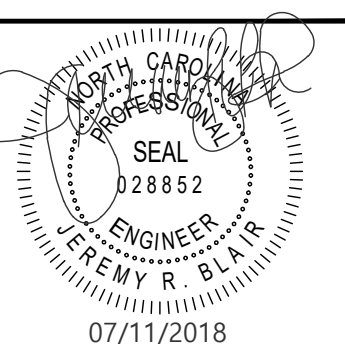
Name _____ Date _____

Planning _____
 Traffic _____
 Fire _____

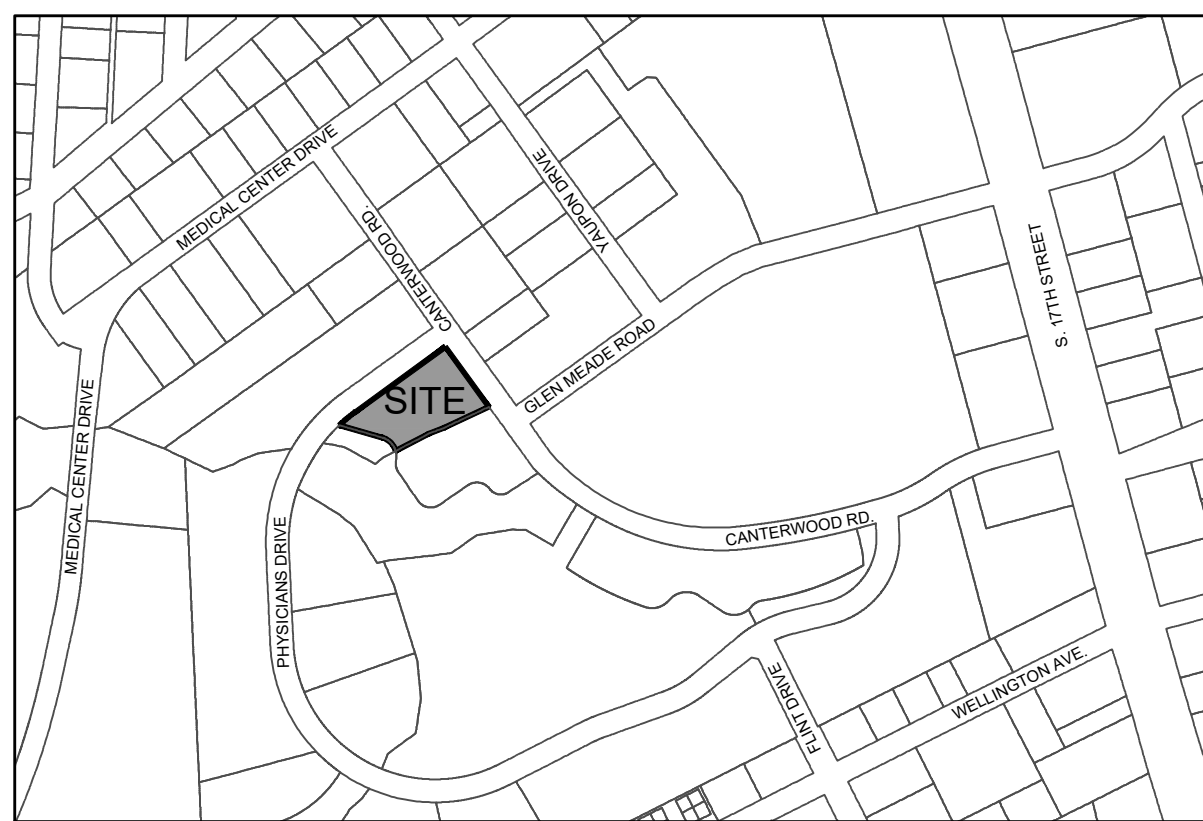
WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____

PREPARED BY:

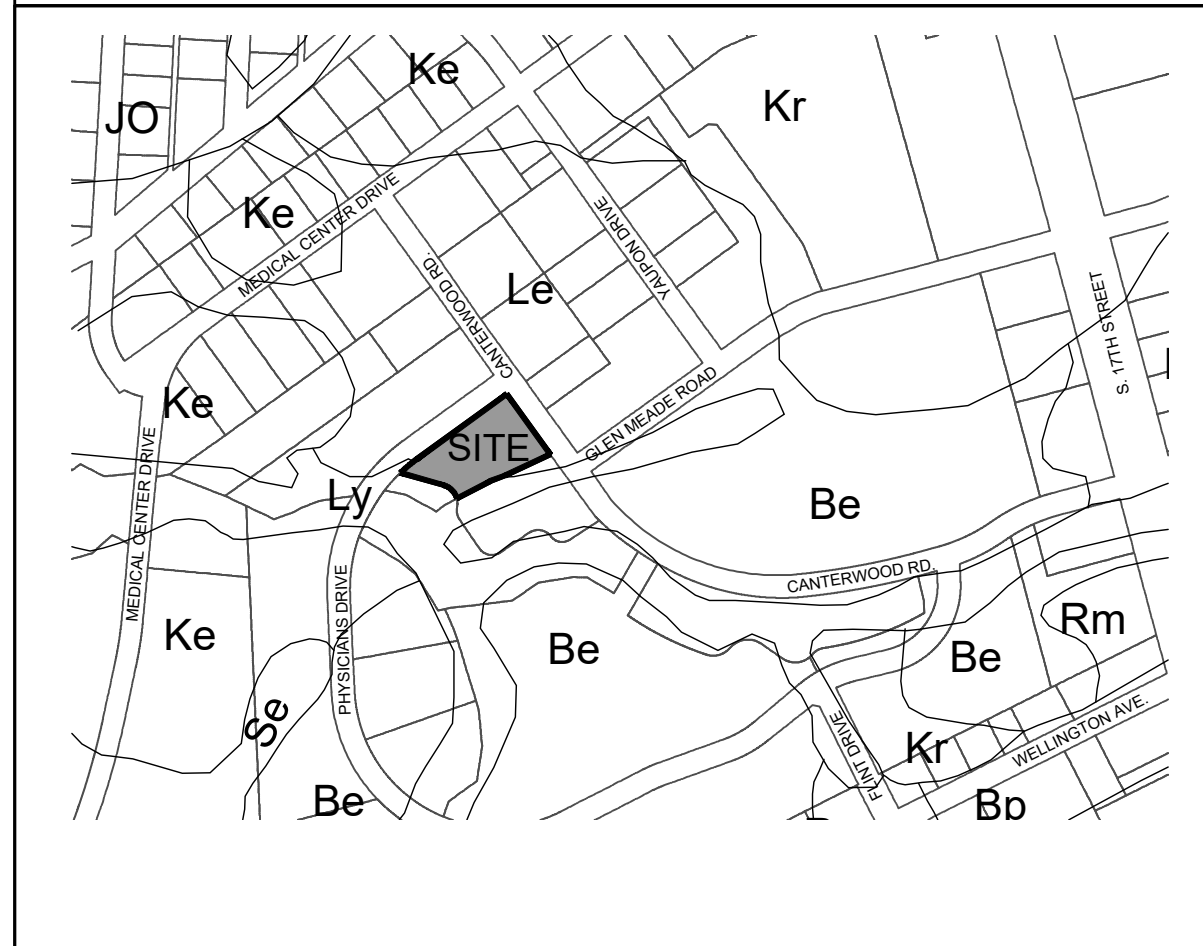
PARAMOUNTE
 ENGINEERING, INC.
 122 Cinema Drive Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6760 (F)
 NC License #: C-2846



07/11/2018



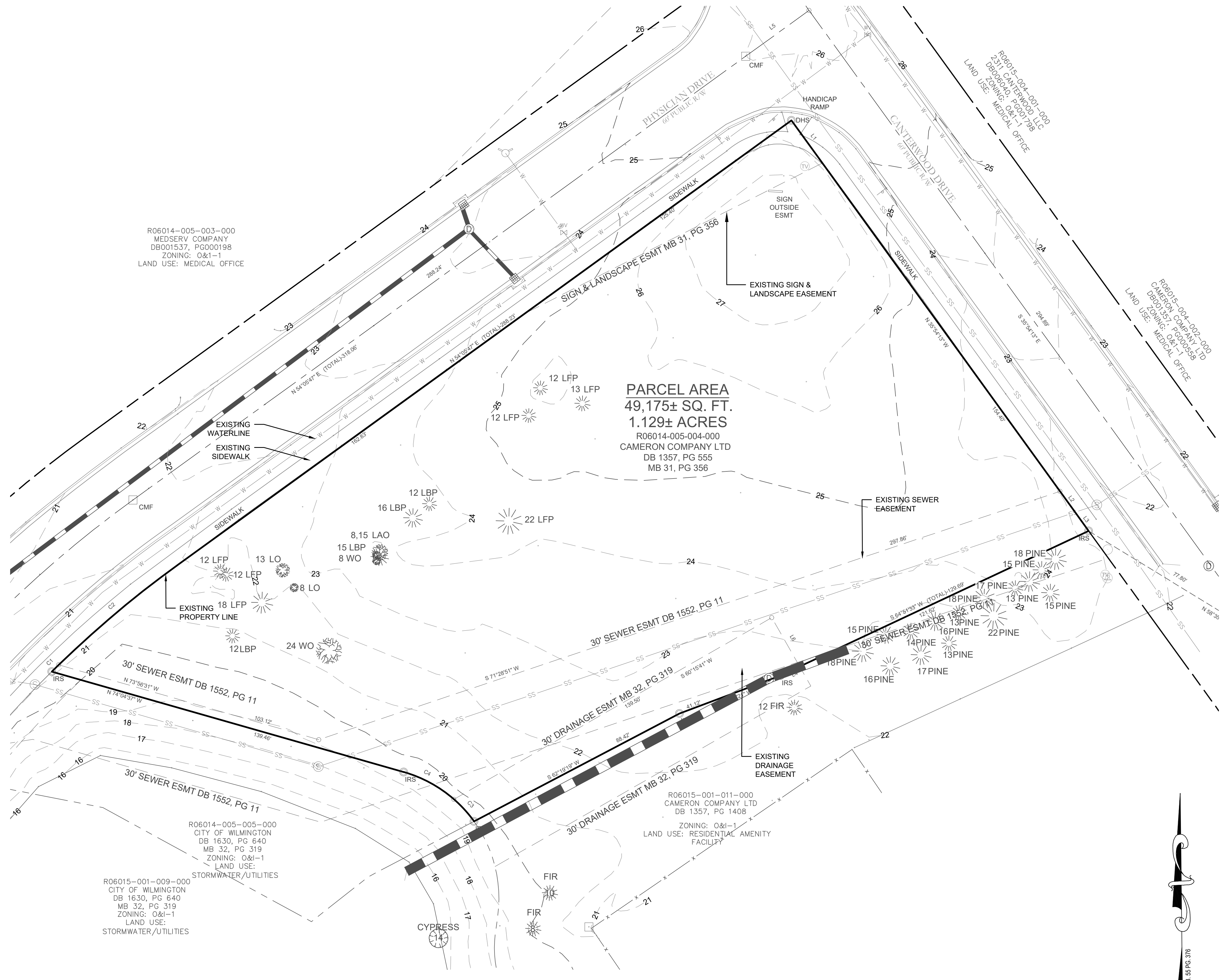
LOCATION MAP
SCALE: 1"=500'



SOILS MAP
SCALE: 1"=500'

SITE INVENTORY DATA

1. PREPARER OF THE PLAN: PARAMOUNTE ENGINEERING
122 CINEMA DRIVE
WILMINGTON, NC 28403
2. APPLICANT NAME: KIDDIE ACADEMY
3415 BOX HILL CORPORATE CENTER DR.
ABINGDON, MD 21009
3. SITE ADDRESS: 2310 CANTERWOOD DRIVE
WILMINGTON, NC 28401
4. PROPERTY OWNER: CAMERON COMPANY, LTD.
5. DEVELOPER: KIDDIE ACADEMY
6. PROPERTY BOUNDARY: SEE PLAN
TAX PARCEL IDENTIFICATION #: R06014-005-004-000
RECORDED DEED BOOK: BK 001357 PG 000558
TOTAL SITE AREA: 1.129 ACRES OR 49175 SF
7. ZONING: O&I-1 - OFFICE & INDUSTRIAL DISTRICT 1
CURRENT LAND USE: VACANT, UNDEVELOPED LAND
8. ADJACENT PROPERTY INFORMATION (OWNER AND ZONING): SEE PLAN
9. VICINITY MAP: SEE MAP ABOVE
10. TOPOGRAPHY: SEE PLAN
11. 100 YEAR FLOOD PLAIN BOUNDARY: THIS PARCEL IS LOCATED IN FLOOD ZONE X, WHICH IS NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEMA FLOOD PANEL 3126, MAP NUMBER 312600 J, DATED APRIL 3, 2006
12. LOCATION OF EXISTING DITCHES, CREEKS, AND STREAMS: SEE PLAN
13. SOILS: LEON SAND (LE)
LYNN HAVEN FINE SAND (LY)
(SEE SOILS MAP ABOVE)
14. CAMA AEC & ASSOCIATED SETBACKS: N/A
15. CAMA LAND USE CLASSIFICATION: URBAN
16. CONSERVATION RESOURCES: POCOSIN
17. LOCAL, STATE, OR FEDERAL HISTORIC OR ARCHAEOLOGICAL SITE: N/A
18. LOCATION OF CEMETERIES, BURIAL SITES, OR BURIAL GROUNDS: N/A
19. SQUARE FOOTAGE OF FORESTED AREA, HABITAT, AND DOMINANT SPECIES: N/A
20. SECTION 404 WETLANDS AND SECTION 10 WATERS: N/A
21. PROTECTED SPECIES OR HABITAT: N/A
22. THOROUGHFARES, BIKE ROUTES, SIDEWALKS, TRANSIT FACILITIES (EXISTING OR PROPOSED): N/A
23. TREE INVENTORY: SEE C-2.0 SITE PLAN



NC DENR PWSS WATER PERMIT #: _____ GPD
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 DWQ SEWER PERMIT #: _____ GPD
 SEWER CAPACITY: _____
 SEWER SHED # AND PLANT: _____
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
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 Signed: _____
 For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan
 Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____

REVISIONS:

CLIENT INFORMATION:
 Kiddie Academy
 3415 Box Hill Corporate Center Dr.
 Abingdon, Maryland 21009

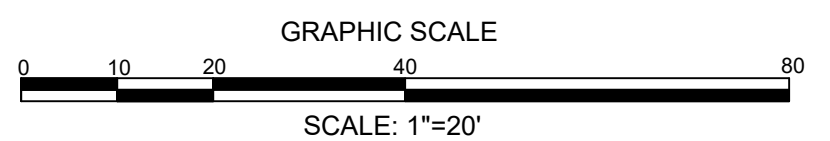
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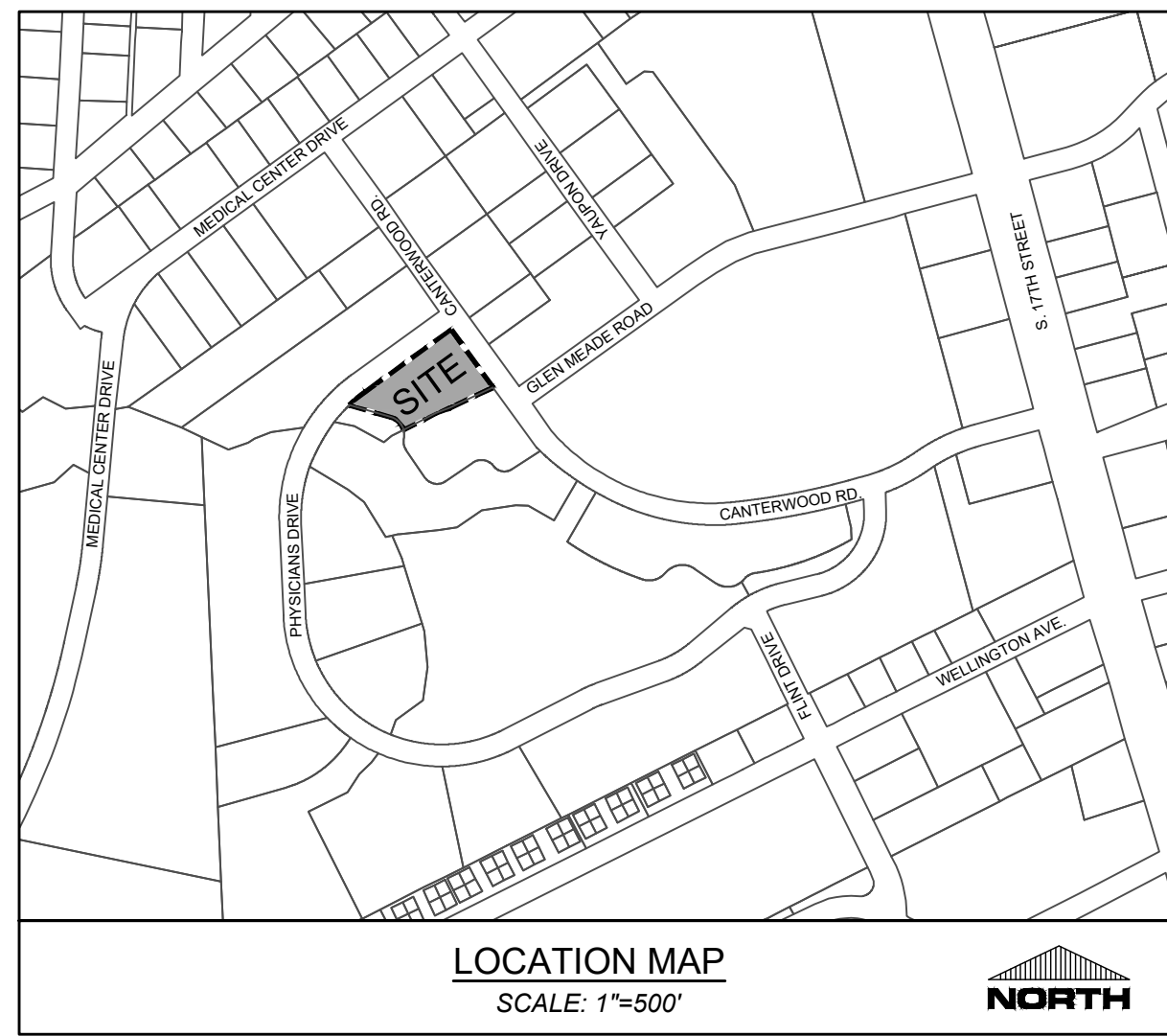
SITE INVENTORY PLAN
 KIDDIE ACADEMY
 2310 Canterwood Drive
 Wilmington, North Carolina 28401

PROJECT STATUS:
 CONCEPTUAL LAYOUT:
 FINAL DESIGN LAYOUT:
 RELEASED FOR CONSTRUCTION:
 DRAWING INFORMATION:
 DATE: 07/11/18
 SCALE: 1"=20'
 DRAWN BY: JRE
 CHECKED BY: JRE
 MB 55 PG 376

C-1.1
 PEI JOB#: 18291.PE

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION





Kiddie Academy Tree Removal & Required Mitigation									
Qty of Trees	Caliper Inches*	Individual Trunk Calipers AND Individual Cluster	Tree Common Name	City Tree Type Classification	Total Cal. Inches to be Removed	% Mitigation	Significant	Essential Site Improvements	Total Qty. of Mitigation Trees Required
Note: *All listed as total caliper inches for entire tree cluster or single tree trunk caliper in compliance with City of Wilmington Land Development Code definition for "diameter at breast height".									
Essential Site Improvements: It is anticipated that all trees will be removed for essential site improvements, so only significant trees require mitigation.									
REGULATED & SIGNIFICANT TREES									
Category 1 (100% Mitigation)									
1	8	8	WO (WATER OAK)	hardwood	8	100%	yes	yes	16
1	23	24	WO (WATER OAK)	hardwood	24	100%	yes	yes	24
1	23	15	LAO (LAUREL OAK)	hardwood	23	100%	yes	yes	23
1	8	8	LO (LIVE OAK)	hardwood	8	100%	yes	yes	8
1	13	13	LO (LIVE OAK)	hardwood	13	100%	yes	yes	13
4	12	12	LFP (LONGLEAF PINE)	conifer	48	100%	yes	yes	48
1	13	13	LFP (LONGLEAF PINE)	conifer	13	100%	yes	yes	13
1	18	18	LFP (LONGLEAF PINE)	conifer	18	100%	yes	yes	18
1	22	22	LFP (LONGLEAF PINE)	conifer	22	100%	yes	yes	22
Total Category 1 Regulated Trees To Be Removed with Essential Site Improvements:									122
Category 3 (50% Mitigation)									
1	12	12	LBP (LOBLOLLY)	conifer	12	50%	yes	yes	6
1	15	15	LBP (LOBLOLLY)	conifer	15	50%	yes	yes	7.5
1	16	16	LBP (LOBLOLLY)	conifer	16	50%	yes	yes	8
Total Category 3 Significant Trees									0
Total Category 3 Regulated Trees To Be Removed with Essential Site Improvements:									3
Total Qty. of Trees to be Removed (essential site improvements):									15
Total Qty. of Significant Tree Mitigation (essential site improvements):									16
Total Tree Credits:									0
Total Qty. of Mitigation Trees Required on Site (or Pay in Lieu Equivalent):									16

SITE INFORMATION
OWNER INFORMATION: KIDDIE ACADEMY
 3415 BOX HILL CORPORATE CENTER DR.
 ABINGDON, MD 21009

PROJECT ADDRESS: 2310 CANTERWOOD DRIVE
 WILMINGTON, NC 28401

TAX PARCEL IDENTIFICATION #: R06014-005-004-000
RECORDED DEED BOOK: BK 001357 PG 000558
CURRENT ZONING: O&I-1 - OFFICE & INDUSTRIAL DISTRICT 1
EXISTING USE: VACANT LAND
PROPOSED USE: DAY CARE (CHILD)
TOTAL SITE AREA: 1.129 ACRES OR 49175 SF

FLOOD INFORMATION: THIS PARCEL IS LOCATED IN FLOOD ZONE X, WHICH IS NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEMA FLOOD PANEL 3126, MAP NUMBER 3720312600 J, DATED APRIL 3, 2006

CAMA LAND USE CLASSIFICATION: URBAN

CONSERVATION DISTRICT: POCOSIN

DIMENSIONAL REQUIREMENTS
 O&I-1: OFFICE AND INSTITUTIONAL, DISTRICT 1

- MINIMUM LOT AREA: 1,500 SF
- MINIMUM LOT WIDTH: 80'
- MAXIMUM LOT COVERAGE: 40%
- MINIMUM FRONT SETBACK: 20'
- MINIMUM REAR SETBACK: 10'
- MINIMUM INTERIOR SIDE SETBACK: 10'
- MINIMUM CORNER LOT SIDE SETBACK: 20'
- MAXIMUM BUILDING HEIGHT: 45'

PROPOSED BUILDING SETBACKS:

- FRONT SETBACK: 20'
- SIDE SETBACK: 20'
- INTERIOR SIDE YARD SETBACK: 10'
- REAR SETBACK: 20'
- CORNER SETBACK: 20'

IMPERVIOUS INFORMATION

TOTAL EXISTING IMPERVIOUS AREA: 49,175 SF

PROPOSED IMPERVIOUS AREA:

- TOTAL BUILDING (FOOTPRINT): 7,134 SF
- ON-SITE PARKING & DRIVEWAYS: 15,108 SF
- ON-SITE SIDEWALKS: 4,005 SF
- MISC. IMPERVIOUS (PLAYGROUND): 3,259 SF
- FUTURE IMPERVIOUS: 7,384 SF
- TOTAL PROPOSED IMP. AREA: 36,881 SF

PROPOSED PERCENT IMPERVIOUS: 75%

BUILDING INFORMATION

CONSTRUCTION TYPE: V-B (OCCUPANCY TYPE B - BUSINESS)

NUMBER OF PROPOSED BUILDINGS: 1

PROPOSED BUILDING SFG: 7,134 SF

MAX. HEIGHT: 45'

LOT COVERAGE: 14.5% (PROPOSED)

SITE PARKING

PARKING SPACES REQUIRED: (1 PER 8 PARTICIPANTS, DAY CARE)

272 PARTICIPANTS / 8 SPACES:

PARKING SPACES PROVIDED: 34 SPACES REQUIRED, 36 SPACES PROVIDED

HANDICAP PARKING REQUIRED: 2 SPACES

HANDICAP PARKING PROVIDED: 2 SPACES

BICYCLE PARKING REQUIRED: 5

BICYCLE PARKING PROVIDED: 5

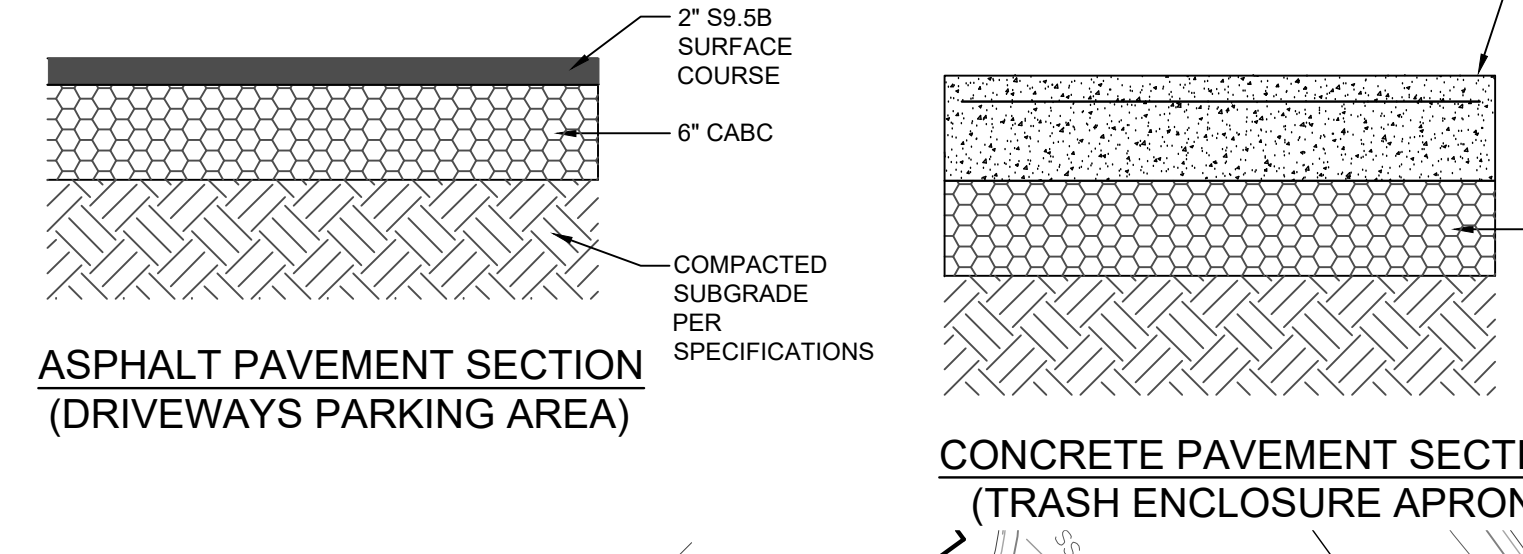
LANDSCAPE CALCULATIONS
 SEE SHEET L-1.0 LANDSCAPE PLAN FOR CALCULATIONS

WATER AND SEWER DEMANDS

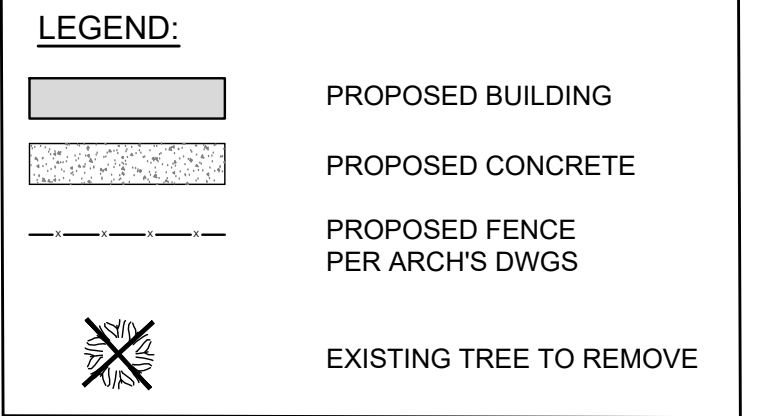
WATER: 0 GPD (CURRENT USE)
 WATER: 6,800 GPD (PROPOSED USE)

SEWER: 0 GPD (CURRENT USE)
 SEWER: 6,800 GPD (PROPOSED USE)

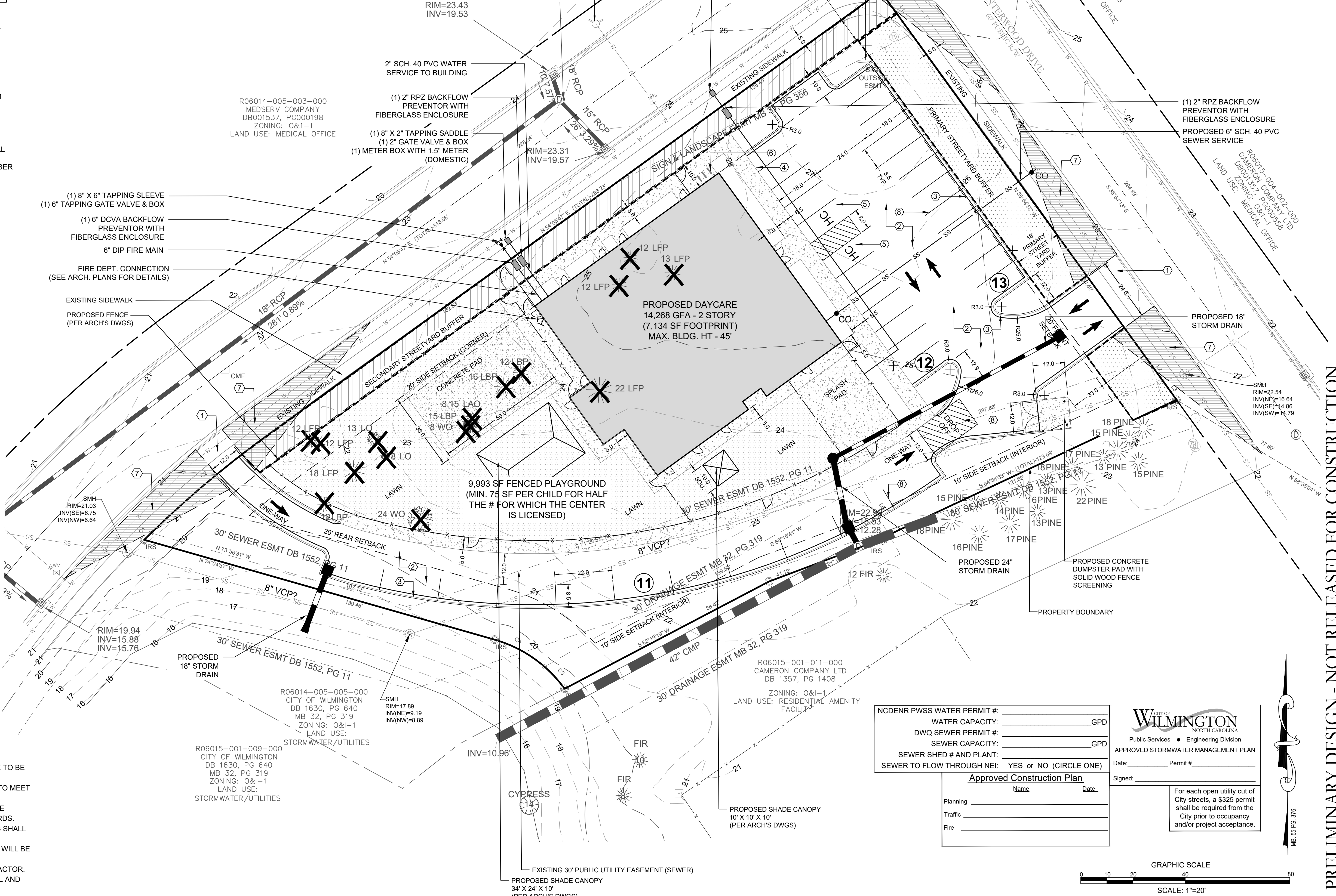
- GENERAL NOTES:**
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
 - ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
 - ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
 - ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
 - ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
 - TRASH DISPOSAL SHALL BE BY ROLLOUT SERVICE THROUGH A PRIVATE CONTRACTOR. CONTRACTOR SHALL REFER TO LANDSCAPE PLAN FOR SPECIFIC TREE REMOVAL AND OTHER LANDSCAPING DETAILS.



- KEY NOTES:**
- CONCRETE DRIVE APRON: CITY STD. DRIVEWAY SD 3-03
 - ASPHALT PAVING: REFER TO DETAIL
 - STANDARD 24" CURB & GUTTER: REFER TO DETAIL
 - CONCRETE SIDEWALK:
 - ADA ACCESSIBLE PARKING SPACE:
 - BICYCLE RACK: BY OTHERS
 - CITY OF WILMINGTON SIGHT DISTANCE TRIANGLE: CITY OF WILMINGTON 20'X70' SIGHT TRIANGLE STRIPING: PROVIDE 4" WIDE PARKING LOT STRIPING AS SHOWN. USE HIGHWAY MARKING PAINT - WHITE (2 COATS).



- PLAN NOTES:**
- EXTERIOR LIGHTING SHALL BE PROVIDED ON BUILDING FACADE, PER ARCH'S DWGS



NCDENR PWSS WATER PERMIT # _____ GPD

WATER CAPACITY: _____ GPD

DWQ SEWER PERMIT # _____ GPD

SEWER CAPACITY: _____ GPD

SEWER SHED # AND PLANT: _____

SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

Approved Construction Plan

Name: _____ Date: _____

Planning: _____

Traffic: _____

Fire: _____

CITY OF WILMINGTON
 NORTH CAROLINA

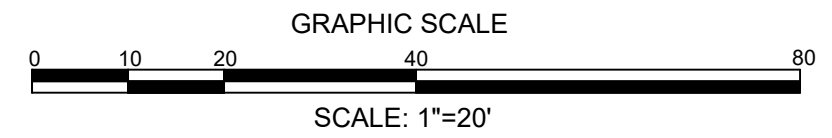
Public Services • Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

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 Abingdon, Maryland 21009

PARAMOUNT ENGINEERING, P.C.
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (C) (910) 791-6700 (F)
 N.C. License # C-2846

SITE PLAN & TREE REMOVAL PLAN

KIDDIE ACADEMY
 2310 Canterwood Drive
 Wilmington, North Carolina 28401

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

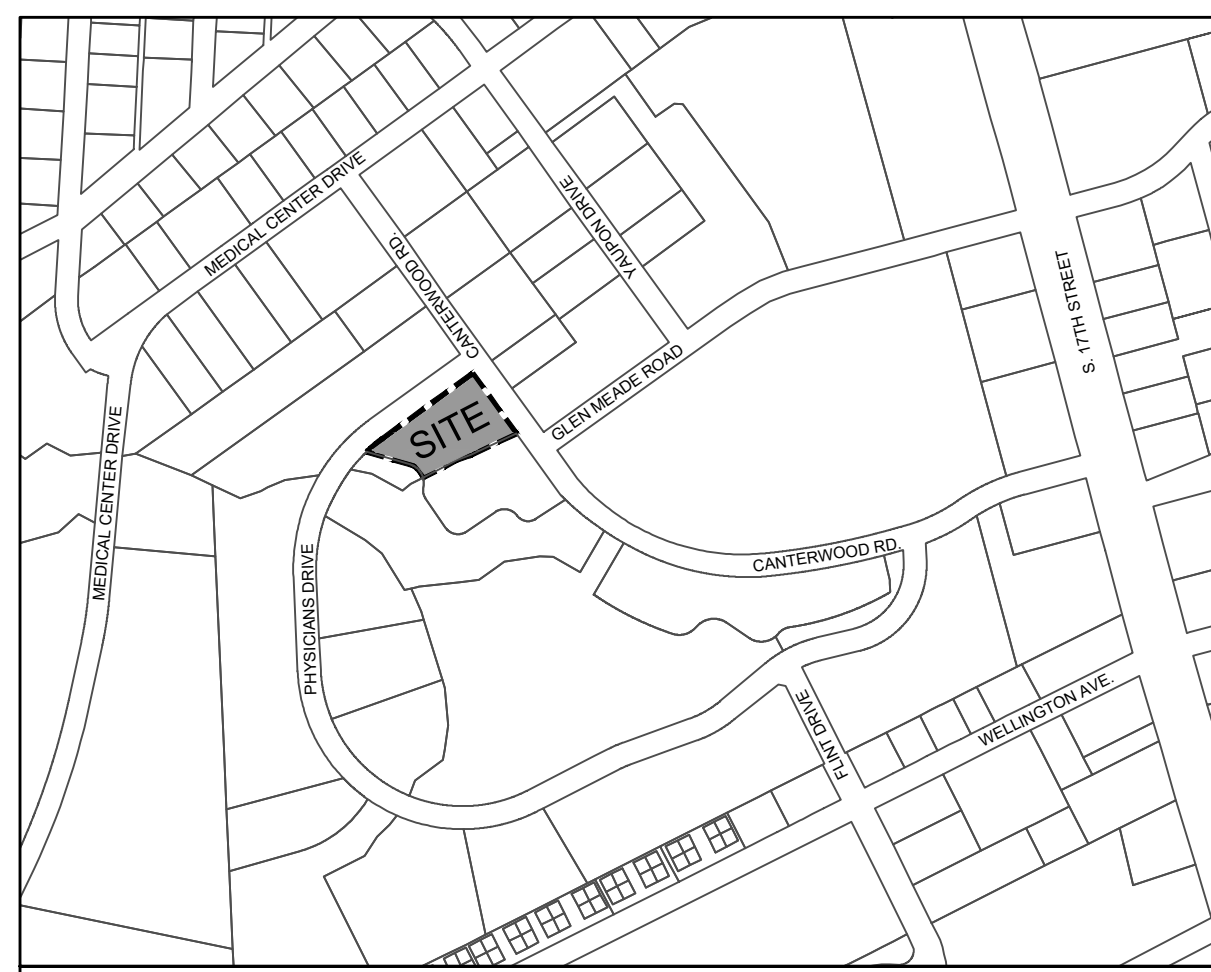
PROJECT STATUS: PRELIMINARY LAYOUT, FINAL DESIGN, RELEASED FOR CONSTRUCTION

DRAWING INFORMATION: DATE: 7/11/2018, SCALE: 1"=20', DRAWN: JBA/AM/JR, CHECKED: JBA/AM/JR

SEAL: [Professional Engineer Seal]

C-2.0

PEI JOB#: 18291.PE



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 3415 BOX HILL CORPORATE CENTER DR.
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CAMA LAND USE CLASSIFICATION: URBAN
CONSERVATION DISTRICT: POCOSIN

LANDSCAPE CALCULATIONS:

STREET YARD LANDSCAPING - Sec. 18-477

Canterwood Drive (Primary) 163.52 LF - 24' Drive = 139.52 LF * 18 = 2,511.36 SF	REQ'D 2,511.36 SF	PROV 2845.17 SF
2,682.36 SF * 15% = 402.35 SF Allowable Sidewalk Total Sidewalk in Provided Street Yard Area* = 17.65 SF *17.65 sf of sidewalk in Primary Street Yard is existing City sidewalk		
2,511.36 SF / 600 SF = 4.18		
1 CANOPY / 600 SF	4.18	5
6 SHRUBS / 600 SF	25.11	26
Physicians Drive (Secondary) 351.70 LF - 12' Drive = 339.7 LF * 9 = 3,057.3 SF 3,235.05 SF * 15% = 485.25 SF Allowable Sidewalk Total Sidewalk in Provided Street Yard Area* = 139.09 SF *87.91 sf of sidewalk in Secondary Street Yard is existing City sidewalk	REQ'D 3,057.3 SF	PROV 3,194.32 SF
3,057.3 SF / 600 SF = 5.09		
1 CANOPY / 600 SF	5.09	6
6 SHRUBS / 600 SF	30.57	31
PARKING LOT LANDSCAPING Interior Area Landscaping - Sec. 18-481 15,108 SF * 20% SHADING (See Plan for Tree Shade and SF Calculations)	REQ'D 3,021.6 SF	PROV 4,949 SF
Parking Area Screening - Sec. 18-483 3' H x 5' W Buffer Provided as Required		
FOUNDATION PLANTINGS - Sec. 18-490 80 LF * 28.6 FT HGT = 2,288 SF * 0.12	REQ'D 274.6 SF	PROV 446.3 SF
BUFFER YARDS - Sec. 18. 18-503 None Required - Project not adjacent to Residential Use	REQ'D 0 SF	PROV 0 SF
OVERALL SITE TREE PLANTING REQUIREMENTS 1.129 AC * (15) 2.5" TREES / AC = 16.94	REQ'D 17	PROV 18

LEGEND:

	PROPOSED BUILDING
	PROPOSED CONCRETE
	PROPOSED FENCE PER ARCH'S DWGS
	EXISTING TREE TO REMOVE
	TREE SHADE SF CALCULATION (PER TREE)
	FOUNDATION PLANTING SF CALCULATION (PER PLANTER AREA)

LANDSCAPE NOTES:

- CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- TREES SHALL BE LOCATED A MINIMUM OF 5 FEET FROM SEWER/WATER CONNECTIONS OR AS OTHERWISE DICTATED BY LOCAL REGULATIONS. CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ANY AND ALL PUBLIC OR PRIVATE UTILITIES.
- ALL PLANT MATERIAL SHALL MEET THE CURRENT VERSION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS.
- NO TREE OTHER THAN THOSE SHOWN ON APPROVED PLANS FOR REMOVAL WITH THESE PLANS AND/OR TREE REMOVAL PERMIT PLANS, SHALL BE REMOVED WITHOUT WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. ALL SHRUB BEDS AND/OR PLANTING AREAS EXCLUDING TURF AREAS SHALL BE MULCHED WITH 3 INCH MINIMUM AND 4 INCH MAXIMUM DEPTH PINE STRAW MULCH UNLESS OTHERWISE NOTED.
- ALL PLANTS, 4 FEET OR LESS APART, WILL BE CONNECTED IN ONE PLANTING BED. ALL GROUPS OF PLANTS SHOULD BE WITHIN ONE PLANTING BED WITH THE EDGE OF MULCH EXTENDING 2 FEET BEYOND THE EDGE OF PLANT MASS. SINGLE TREES SHOULD HAVE A CIRCLE OF MULCH NOT LESS THAN 5 FEET DIAMETER.
- PLANTING SOIL MIX: MIX EXISTING SOIL WITH THE SOIL AMENDMENTS AND FERTILIZERS IN THE QUANTITIES RECOMMENDED BY THE SOIL TESTING LABORATORY, THIRD PARTY, RECOGNIZED BY THE STATE DEPARTMENT OF AGRICULTURE OR AS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- ANY AND ALL SUBSTITUTIONS OF PLANT MATERIAL SHALL BE APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. FAILURE IN OBTAINING APPROVAL MAY RESULT IN LIABILITY TO THE CONTRACTOR.
- THE CONTRACTOR SHALL REPLACE DEAD AND/OR UNHEALTHY PLANT MATERIAL WITHIN 12 MONTHS OF ACCEPTANCE OF THE INSTALLED MATERIAL FROM THE OWNER OR OWNER'S REPRESENTATIVE.

- THE CONTRACTOR SHALL PREPARE ALL SEEDED OR SODDED AREAS TO ASSURE THAT THE SUBGRADE HAS BEEN RAKED AND ROLLED TO ACCEPT THE SOD/SEED. ALL SOD/SEED AREAS MUST BE IRRIGATED OR HAND WATERED. ALL SOD SHALL BE PLACED WITH STAGGERED JOINTS AND NO GAPS BETWEEN SOD JOINTS. SOD SHOULD BE ROLLED AFTER INSTALLATION. ALL SEEDED AND/OR SODDED AREAS SHOULD PROVIDE A SMOOTH SURFACE FREE OF DIPS AND UNLEVELLED GROUND.
- IRRIGATION SHALL BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATION CONTRACTOR IN THE STATE OF NORTH CAROLINA.
- THE CONTRACTOR IS RESPONSIBLE FOR HAND WATERING THE INSTALLED PLANT MATERIAL FOR A PERIOD OF 6 MONTHS FROM THE ACCEPTANCE FROM THE OWNER OR OWNER'S REPRESENTATIVE IF IRRIGATION HAS NOT BEEN INSTALLED AT THE TIME OF SUBSTANTIAL COMPLETION. ALL MATERIAL INCLUDING SOD AND SEEDS AREAS SHALL BE HAND WATERED ONCE WEEKLY OR AS NEEDED TO ENSURE SURVIVAL OF PLANTS.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING TRASH, DEBRIS AND EXCESS MATERIALS FROM THE JOB SITE ONCE THE PROJECT IS COMPLETE. SECURING ANY MATERIALS LEFT ON SITE DURING THE COURSE OF THE PROJECT IS THE CONTRACTOR'S RESPONSIBILITY.
- ALL DISTURBED AREAS NOT DESIGNATED FOR SOD SHALL BE SEEDED.
- ALL VEGETATION PROPOSED WITHIN SIGHT DISTANCE AREAS SHALL NOT INTERFERE WITH SIGHT DISTANCE FROM 3' TO 10'
- PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN TREE PROTECTION FENCING.

PLAN NOTES:

- EXTERIOR LIGHTING SHALL BE PROVIDED ON BUILDING FACADE, PER ARCH'S DWGS

NC DENR PWSS WATER PERMIT #: _____
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 DWQ SEWER PERMIT #: _____
 SEWER CAPACITY: _____ GPD
 SEWER SHED # AND PLANT: _____
 SEWER TO FLOW THROUGH NEI: YES OR NO (CIRCLE ONE)

Approved Construction Plan
 Name: _____ Date: _____
 Planning: _____
 Traffic: _____
 Fire: _____

Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____

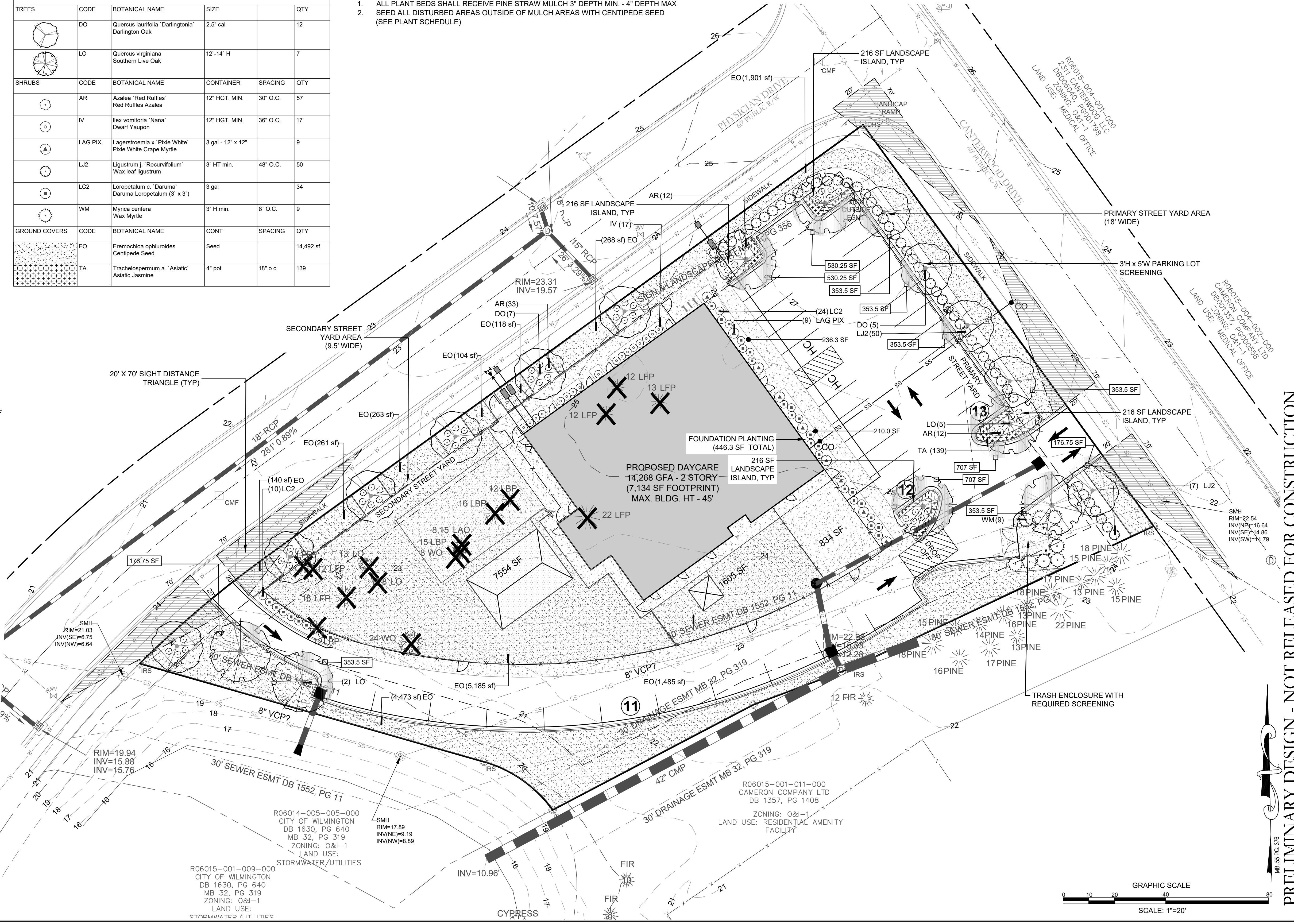
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME	SIZE	QTY	
	DO	Quercus laurifolia 'Darlingtonia'	2.5" cal	12	
	LO	Quercus virginiana	12'-14' H	7	
SHRUBS	CODE	BOTANICAL NAME	CONTAINER	SPACING	QTY
	AR	Azalea 'Red Ruffles'	12" HGT. MIN.	30" O.C.	57
	IV	Ilex vomitoria 'Nana'	12" HGT. MIN.	36" O.C.	17
	LAG PIX	Lagerstroemia 'Pixie White'	3 gal - 12" x 12"		9
	LJ2	Ligustrum 'J. Recurvifolium'	3' HT min.	48" O.C.	50
	LC2	Loropetalum c. 'Daruma'	3 gal		34
	WM	Myrica cerifera	3' H min.	8' O.C.	9
GROUND COVERS	CODE	BOTANICAL NAME	CONT	SPACING	QTY
	EO	Eremochloa ophiuroides	Seed		14,492 sf
	TA	Trachelospermum a. 'Asiatic'	4" pot	18" o.c.	139

PLANTING NOTES:

- ALL PLANT BEDS SHALL RECEIVE PINE STRAW MULCH 3" DEPTH MIN. - 4" DEPTH MAX
- SEED ALL DISTURBED AREAS OUTSIDE OF MULCH AREAS WITH CENTIPEDE SEED (SEE PLANT SCHEDULE)



REVISIONS:

CLIENT INFORMATION:
 Kiddie Academy
 3415 Box Hill Corporate Center Dr.
 Abingdon, Maryland 21009

PARAMOUNTE ENGINEERING, INC.
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6700 (F)
 N.C. License #: C-2846

LANDSCAPE PLAN
 KIDDIE ACADEMY
 2310 Canterwood Drive
 Wilmington, North Carolina 28401

PROJECT STATUS:
 PRELIMINARY LAYOUT
 FINAL DESIGN
 RELEASED FOR CONSTRUCTION

DRAWING INFORMATION:
 DATE: 7/11/18
 SCALE: AS SHOWN
 DRAWN: [Name]
 CHECKED: [Name]

SEAL:
 NORTH CAROLINA
 1823
 07/11/18
 LEOH H. ENGEBRE, P.E.
 AE/ARB

L-1.0
 PEI JOB#: 18291.PE

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

